



**CANTERBURY CITY COUNCIL**

*City of Cultural Diversity*

**TOWNHOUSE AND VILLA HOME  
CODE**

**CANTERBURY DEVELOPMENT CONTROL PLAN NO. 12**

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Development Control Plan No. 12 was approved by Council on the 2 May 1991 and came into force from 15 May 1991.

Amendment No. 1 - 28 May 1997.

Amendment No. 2 - 23 December 1999.

Amendment No. 3 - 4 September 2000.

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# 1. INTRODUCTION

## 1.1 Where does the Code apply?

This Code applies to all townhouse and villa home development in land throughout the City of Canterbury zoned:

- Residential 2(b).
- Residential 2(a) zones under Canterbury Local Environmental Plan No. 138 (Canterbury Precinct), Canterbury Local Environmental Plan No. 148 (Campsie Precinct), Canterbury Local Environmental Plan No. 178 (Belmore/Lakemba Precinct) and Canterbury Local Environmental Plan No. 164.

## 1.2 What is the purpose of the Code?

The purpose of this Code is to set standards for townhouse and villa home developments. These standards have been formulated so that:

- the amenity of residential areas are enhanced and protected;
- townhouses and villa homes are developed in a way that is compatible with other forms of residential developments;
- there is a choice in housing for residents.

## 1.3 Are you a home owner or resident?

When Council receives a development application for a townhouse and/or villa home proposal, letters are sent to all adjoining landowners and a notice is placed on the development site and advertisements in the local newspaper.

You can comment on any aspect of the proposal, but in particular you should comment on how the proposal affects you. Constructive comments on how the development could be improved are always welcome.

## 1.4 Are you an applicant?

If you propose to build townhouses and/or villa homes and it is permitted by the zoning, then a development application must be submitted and development consent granted before a Construction Certificate can be issued.

## 1.5 Can requirements be varied?

This Code sets out what Council is aiming to achieve with townhouse and villa home development. The standards set out the ways of achieving these aims.

There may, however, be other ways of achieving the desired results, or there may be circumstances where it is not relevant to comply with a particular provision. If this is the case, then you **must** make a written submission with your proposal outlining the variation, providing reasons why the variation is necessary and setting out how the objectives of the particular provision are satisfied by the proposal. Your site analysis should illustrate why the variation is necessary.

## **1.6 How to apply.**

### **1.6.1 To avoid delays, all applicants/designers are encouraged to:**

- Contact, at least by telephone, the Officer who is likely to be dealing with the proposal before undertaking preliminary plans to see if there are any specific circumstances of the particular site that may not be apparent from the relevant Code and which should be taken into account when designing a proposal.
- Make an appointment with the Officer after preliminary plans have been sketched out and site analysis prepared to obtain an opinion, view or guidance.
- Send a copy of the preliminary sketch and site analysis to the Officer in advance (say a few days) so that a considered opinion can be given on major points of the proposal at the interview.
- Take any advice received into consideration when preparing final plans for submission.
- Establish desirable submission dates if a tight schedule is involved so as not to miss a particular Council meeting date for the sake of a day or so in the submission date.
- Submit all of the information required under this Code, including the site analysis, Development Application form and other as requested by Council's Officer at the interview.
- Include information Council Officers will need to assess the application under the relevant Code including a summary or table of calculations made.
- Indicate to Council Officers whether you would like to be contacted if any problems arise.

### **1.6.2 The following details are required to be submitted with a completed Development Application form:**

(a) The fee, determined by Council, must accompany the application. In the case of a building or a work, the fee is based on Council's estimate of cost of that building or work. In addition to this base fee, a fee covering the cost of a newspaper notification of the development must be paid. Council is obliged by law to advertise all proposals. Any amendments to the proposal after consent has been given may require the submission of an amended application and readvertising.

(b) The Site Analysis

The objective of the site analysis is to ensure that the site layout and building design consider the existing characteristics, opportunities and constraints of the site and its surrounds to result in a design which is sensitive to its environment and is of a high quality.

Table 1 lists the components that must be included in a site analysis, whilst Figure 1 provides an example.

## FIGURE 1 - SITE ANALYSIS PLAN

- (c) Four copies of a plan or drawings at a scale of 1:100 and/or 1:200 and fully describing the development are required to be submitted. It is important that the plans be drawn accurately (preferably by a qualified architect/designer) and show the following information:
- (i) The location, boundary dimensions, site area and north point of the land;
  - (ii) The location of proposed buildings on the land;
  - (iii) The internal layout of the proposed buildings showing the intended use of each room;
  - (iv) The floor space of each dwelling (refer to definition of floor space);
  - (v) Details of proposed boundary fencing, retaining walls and fill;
  - (vi) Elevations and sections showing proposed external finishes and heights;
  - (vii) Proposed finished ground levels of all surfaces on the site and the levels of each floor of the building;
  - (viii) Building perspectives, where necessary, to illustrate the proposed building;
  - (ix) Proposed parking arrangements, vehicular entrance and exit movements including the width and gradient of all driveways;
  - (x) Broad intentions of proposed landscaping of the site;
  - (xi) Proposed methods of draining the land;
  - (xii) The location of public utility services, street trees, driveways, etc.
- (d) Council will require shadow diagrams where it is considered necessary to ensure compliance with the objectives of this Code.
- (e) A survey plan of the property certified by a registered surveyor, and showing:
- The area and dimensions of the land;
  - Existing contours of the land at 0.5 metre intervals; and
  - All existing trees having a height in excess of 4.0 metres or a branch spread of more than 3.0 metres (diameter), with the estimated height shown (each tree is to be indicated by a letter or number for reference purposes).
  - Council has a Tree Preservation Order which requires Council's consent for the removal or lopping of any tree covered by the Order. It is important that all applicants comply with the Tree Preservation Order. Anyone who breaches this Order may be prosecuted by Council.
- (f) The submission of a comprehensive statement by the designer of the development on the design concept of the overall proposal setting out how the development would relate to the existing and likely future development in the immediate vicinity, that is, on adjoining lands.

The statement, would include the principles of design behind the location, orientation and individual design of each dwelling, the relationship of each dwelling to other dwellings, particularly with regard to the maintenance of privacy between dwellings and private open space areas. The written statement could be supplemented with plans and drawings illustrating graphically the principles employed by the designer.

- (g) Calculations comparing the proposed development with the standards contained in the Code. These calculations should be set out on the plan or a separate sheet. The format as shown on page 24 should be followed.

**Note:** If inadequate or incomplete information is submitted, determination of the application will be delayed and the application will be returned to the applicant for completion.

## 2. DEFINITIONS

For the purpose of this Code:

**“Battle-Axe or Hatchet-Shaped Allotment”** means an irregular shaped allotment of land with a narrow access strip of land forming its street frontage.

**“Dwelling”** means a room or number of rooms occupied or used, or so constructed or adapted so as to be capable of being occupied or used as a separate domicile.

**“Floorspace”** means the sum of the areas of each floor of a building where the area of each floor includes all wall thicknesses, ducts, vents, staircases (counted once between floor levels), as measured at a height of 1400 millimetres above each floor level, excluding:

- (a) columns, fin walls, sun control devices, awnings and any other elements, projections or works outside the general lines of the outer face of the external walls; and
- (b) lift towers, cooling towers, machinery and plant rooms, ancillary storage space and air-conditioning ducts; and
- (c) carparking needed to meet any requirements of the Council and any internal designated vehicular or pedestrian access thereto; and
- (d) space for the loading and unloading of goods up to 35 square metres; and
- (e) internal public arcades and thoroughfares, terraces and balconies with outer walls less than 1400 millimetres high.

**“Height”** in relation to a building, means the vertical distance measured between ground level at any point at which the building is sited, and the ceiling of the topmost floor of the building above that point.

**“Landscaped Open Space”** means that part of the site not occupied by any building or buildings (except for swimming pools or open air recreation facilities) which is predominantly landscaped by way of the planting of gardens, lawns, shrubs or trees and is available for use and enjoyment by the occupants of the building erected on the site area, but does not include that part of the site area as is used for driveways and parking areas.

**“Large Dwelling”** means a dwelling with floorspace more than 90 square metres or a dwelling that contains more than two bedrooms or rooms capable of being converted to bedrooms.

**“Medium Dwelling”** means a dwelling with floorspace between 60 square metres and 90 square metres and containing not more than two bedrooms or rooms capable of being converted to bedrooms.

**“Natural Ground Level”** means the existing ground level of the land before any site filling, excavation or building work commences.

**“Small Dwelling”** means a dwelling with floorspace up to 60 square metres and containing one bedroom or room capable of being converted to a bedroom.

**“Storey”** in relation to a building does not include a floor or level of the building used exclusively for the purposes of carparking, storage or laundry facilities, or any combination of these purposes, where the ceiling is not greater than 500 millimetres above ground level.

**“Townhouse”** means a dwelling within a two storey building containing more than two dwellings where each dwelling has its own entrance and open space for the exclusive use of the occupants of the dwelling.

**“Villa Home”** means a dwelling within a one storey building containing more than two dwellings where each dwelling has its own entrance and open space at ground level for the exclusive use of the occupants of the dwelling.

### **3. SITE REQUIREMENTS**

#### **3.1 Minimum Frontage**

##### **3.1.1 Objectives:**

- i. To ensure sites are of sufficient size to accommodate dwellings and provide adequate access, open space and building orientation.

##### **3.1.2 Standards:**

- (a) All allotments on which development is proposed shall have a minimum frontage of 20 metres.
- (b) Battleaxe allotments shall have a minimum width of 20 metres (exclusive of access handle). The access handle will not be included in calculations for site area.

**Note:** The maximum density for a 20 metre wide allotment may not be achievable on some sites because of site factors and/or other requirements of this Code.

# 4. DENSITY

## 4.1 Objectives:

To provide density controls which allow:

- i. Development which has sufficient site area for space between the buildings (on-site and adjoining), private courtyards and car access;
- ii. A satisfactory balance of dwellings to site area;
- iii. Building forms which will achieve the desired character of the residential environment;
- iv. Council to plan and determine the level of services required for an area;

## 4.2 Standards:

(a) The table below indicates the appropriate density in site area (square metres) per dwelling (Column 2) for small, medium, and large (Column 1). Site area per dwelling is a measure of density.

<b>COLUMN 1 Dwelling Size (Floor Area)</b>	<b>COLUMN 2 Site Area per Dwelling</b>
Small (< 60 sq.m.)	200 m <sup>2</sup>
Medium (60-90 sq.m.)	250 m <sup>2</sup>
Large (> 90 sq.m.)	300 m <sup>2</sup>

(b) At least one third of dwellings within the development must contain more than two bedrooms. When the calculation for the number of large dwellings results in a part or fraction, the actual number shall be taken to the nearest whole number.

**Note:**

**The storage area referred to in Clause 14.6.1 is not to be counted as floor space for the purposes of calculating dwelling size.**

## 5. SETBACKS

### 5.1 Front Boundary Setbacks.

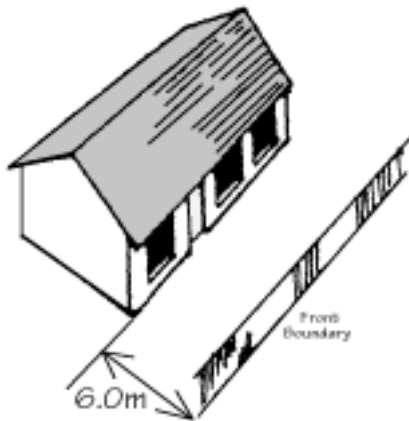


Figure 2: Front Setback

#### 5.1.1 Objectives:

- i. To retain and enhance the residential streetscape.
- ii. To reduce the effect of traffic noise.
- iii. To provide areas for open space/landscaping in front of buildings.
- iv. To minimise adverse impact on adjacent and adjoining properties.
- v. To permit flexibility in the siting of buildings.

#### 5.1.2 Standards:

- (a) The minimum front setback shall be:
  - i. 6 metres for single storey;
  - ii. 7.5 metres for two storey.
- (b) A walled/fenced courtyard may be permitted to occupy part of the area in front of a building by up to 50% (excluding driveways).

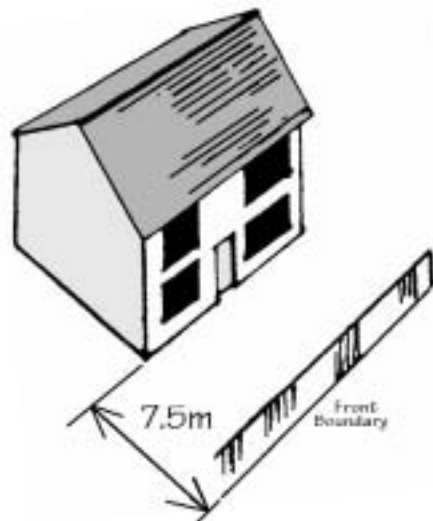


Figure 3: Front Setback

### 5.2 Side and Rear Boundary Setbacks.

#### 5.2.1 Objectives:

- i. To provide reasonable privacy and reduce the effect of noise;
- ii. To allow adequate solar access;
- iii. To provide areas for open space;
- iv. To minimise overshadowing of adjoining properties; and
- v. To permit flexibility in the siting of buildings.

#### 5.2.2 Standards:

- (a) Development at the front of the site should be setback from the side boundaries in accordance with the following:
  - (i) 1 metre for single storey;
  - (ii) 1.2 metres for two storey.

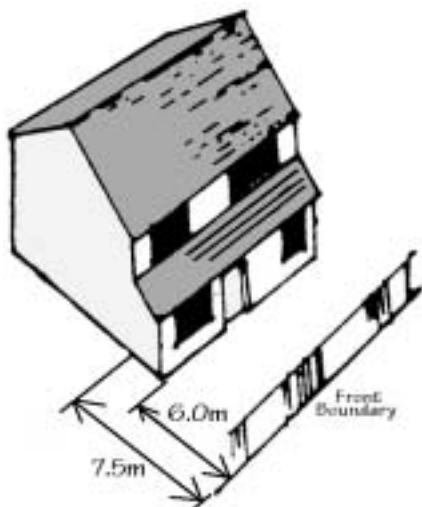


Figure 4: Front Setback

- (b) Development at the rear of the site should be setback 3 metres from the side and rear boundaries.

Council may consider a variation to the required 3 metres setback provided that:

- (i) Not more than 33% of the development at the rear of the site is setback less than 3 metres.
- (ii) Walls setback less than 3 metres do not contain windows.
- (iii) A minimum 1 metre setback is maintained.
- (iv) The variation does not have an adverse affect on the adjoining properties.

The front and rear of the site is determined by a line drawn from the rear of the adjoining dwellings which front the street. Where there may be two dwellings with different alignments the line will be drawn on the average of the alignments.

- (c) Projections permitted into setback areas include roof eaves, sun-hoods, gutters, downpipes, chimney flues, light fittings, electricity or gas meters, verandahs, balconies and aerials, which may project 600 millimetres from the building.

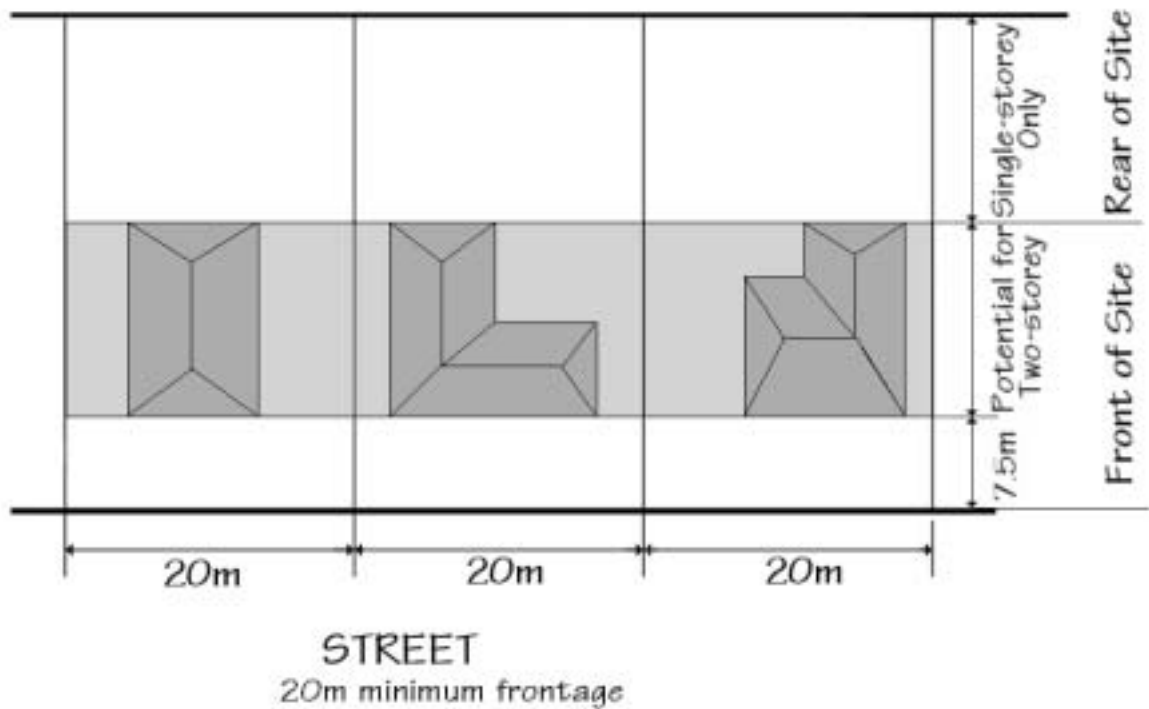


Figure 5: Front and Rear of Site

## 6. HEIGHT OF BUILDINGS

### 6.1 Objectives:

- i. To ensure development has minimal impact on neighbouring properties in terms of building dominance, shadows, privacy and views.
- ii. To provide for development which is compatible to the surrounding residential character.
- iii. To provide a mix of one and two storey developments.

### 6.2 Standards:

- (a) The maximum number of storeys is limited to two at the street frontage and one at the rear of the site. Any dwellings of two storey construction must face or address the street.
- (b) The maximum height of a building measured to the ceiling of the topmost floor above existing natural ground level shall not be greater than the following:
  - Single storey - 3.6 metres
  - Two storeys - 7.2 metres
- (c) For corner sites, two storey development at the rear of the site will only be considered where the proposal has no adverse effects on the amenity of adjoining properties.

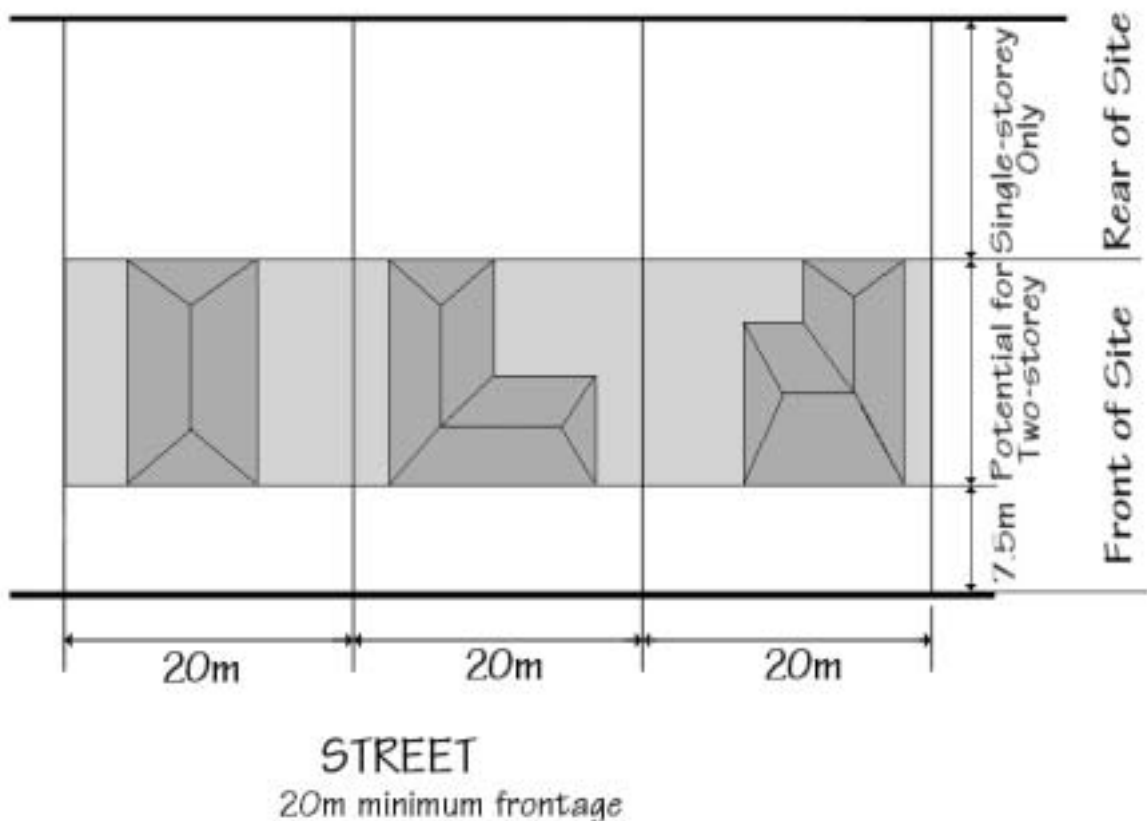


Figure 6: Height of Buildings

## 7. OPEN SPACE

### 7.1 Landscaped Open Space

#### 7.1.1 Objectives:

- i. To provide open space for recreation and use by the residents;
- ii. To enhance the quality of the built environment by providing a satisfactory balance of open space to buildings.

#### 7.1.2 Standards:

- (a) The total amount of landscaped open space shall be provided on site in accordance with the table below:

Dwelling Size	Landscaped Open Space per Dwelling
Small	90 m <sup>2</sup>
Medium	112 m <sup>2</sup>
Large	135 m <sup>2</sup>

- (b) Any landscaped area having a width or depth less than 0.5 metres shall not be included as part of the required landscaped open space.

### 7.2 Private Open Space (Courtyards)

#### 7.2.1 Objectives:

- i. To provide outdoor living space as an extension of the dwelling;
- ii. To ensure that recreation areas are of useable dimensions, suitably located for privacy from a public place and access for sunlight.

#### 7.2.2 Standards:

- (a) Part of the Landscaped Open Space shall be provided as private courtyards as per the following:

Dwelling Size	Private Courtyard Area per Dwelling
Small	30 m <sup>2</sup>
Medium	50 m <sup>2</sup>
Large	55 m <sup>2</sup> or 50% of the floor area of the dwelling whichever is the greater.

- (b) At least 80% of the private courtyard area is to have a minimum dimension of 5 metres with the remaining area being functionally part of the required area (see Figure 7).

- (c) The open space should where possible be directly accessible to the living areas of each dwelling.
- (d) The private courtyard is to be sited, where possible, so as not to be overlooked from adjoining properties.
- (e) Private courtyards are to be clearly defined by screen walls, the materials of which are to complement the external material of the dwellings.

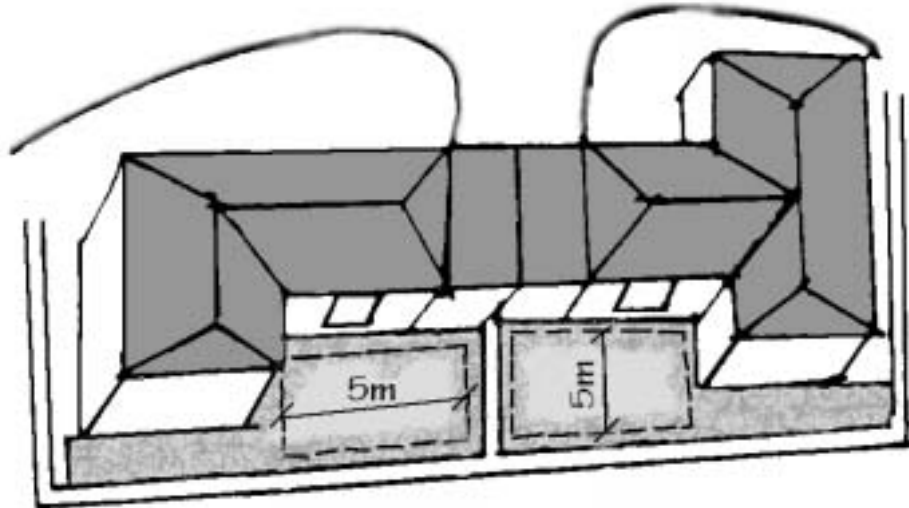


Figure 7: Private Open Space

## **8. LANDSCAPING & SITE DESIGN**

### **8.1 Objectives:**

- i. To enhance the existing streetscape and landscape character.
- ii. To enhance the setting of buildings to provide for privacy and shade.

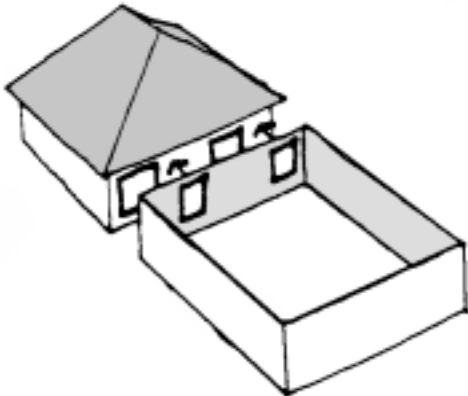
### **8.2 Standards:**

- (a) Landscaping shall enhance the natural features of the site and adjoining areas. Existing landscape elements such as rock formations, vegetation or water courses should, where possible, be preserved.
- (b) Landscaping should relate to the streetscape and the landscaping of adjoining development. Where possible, landscaped areas should adjoin the landscaped areas of adjacent allotments.
- (c) All parts of the site not built upon or paved shall be landscaped with grass, groundcovers, shrubs and/or trees.
- (d) Particular attention should be given to the landscaping treatment of the front setback area.
- (e) The application should be accompanied by a plan showing the broad intentions of the proposed landscaping of the site. The plan would be diagrammatic only and not necessarily indicate specific plant types but rather the height/bulk and position of planting envisaged. The intended use of the various areas within the site should be designated, eg, screened children's play area, clothes drying area. The use of planting material to screen unpleasant views, provide privacy between dwellings, reduce the visual bulk of buildings, etc, could also be illustrated.
- (f) Council will require a detailed landscape plan prepared by an appropriately qualified person, to be submitted for approval at the Construction Certificate stage. Building plans will not be released until the landscape plan has been approved by the Director of City Works. Applicants should obtain a copy of Council's Landscape Guidelines.
- (g) Council has in force a Tree Preservation Order which requires Council's consent for the removal or lopping of any tree covered by the Order. The Order applies to a tree over 4 metres in height or 3 metres (diameter) in branch spread, except under certain circumstances specified in the Order. Council views any unauthorised removal very seriously and may prosecute to the full extent of the law. Heavy fines may be imposed.

## 9. PRIVACY

### 9.1 Objectives:

- i. To ensure privacy between dwellings;
- ii. To avoid overlooking of living spaces in buildings and outdoor recreational areas; and
- iii. To minimise unreasonable transmission of noise to adjoining residential development.



### 9.2 Standards:

- (a) Where windows have potential to overlook adjoining residential properties then design solutions should be sought. These may include:
  - i. placement of windows at an oblique angle and/or off setting them from windows in neighbouring residential properties.
  - ii. sill heights being a minimum of 1.6 metres above floor level.
  - iii. screening from view by walls/fences or planting.
- (b) Fences/screen walls when required to satisfy the above objectives shall be 1.8 metres high;
- (c) First floor balconies will not be permitted where the above objectives are not met;
- (d) Within a development site, windows and balconies should be separated or screened from private open space and habitable room in other dwellings;
- (e) Driveways and parking areas should be designed and located to minimise reflecting noise and glare from car headlights to bedrooms of adjoining dwellings.
- (f) The applicant is to illustrate how the privacy objectives have been complied with.

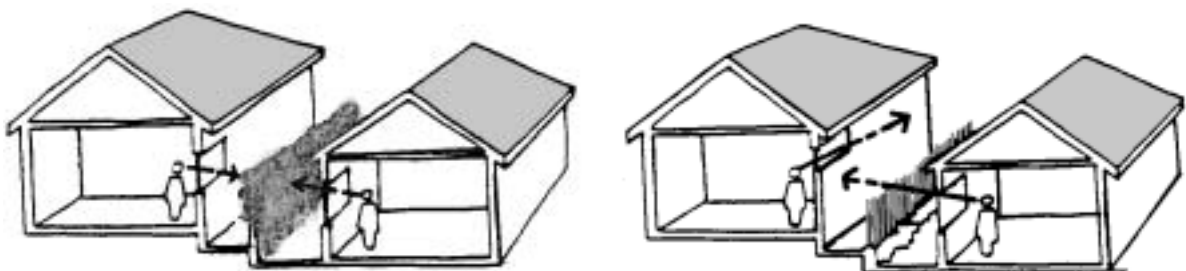


Figure 8: Privacy Design Approach

## 10. CARPARKING & VEHICULAR ACCESS

### 10.1 Objectives:

- i. To provide sufficient off-street parking for residents and visitors cars;
- ii. To ensure parking is designed to allow for the adequate manoeuvring of vehicles so as to encourage its use.

### 10.2 Standards:

- (a) Off-street parking shall be provided as follows:
  - (i) Small dwelling - 1 space
  - (ii) Medium dwelling - 1.2 spaces  
(the 0.2 space to remain as common property)
  - (iii) Large dwelling - 2 spaces
  - (iv) Council will accept 2 stacked (ie in line, one behind the other) carspaces for each large and medium dwellings.
  - (v) One space for visitors for each 5 dwellings. Or, where a site is situated in a narrow road or cul-de-sac, one space for visitors for each 3 dwellings is required. A narrow road is less than 11 metres in width.
- (b) When the calculations for the number of carparking spaces results in a part or fraction of a carparking space, the actual number required shall be determined in the following manner:
  - (i) Resident parking - to the nearest whole number.
  - (ii) Visitor parking - to the nearest whole number (minimum of one visitor space per development).
- (c) The arrangement of parking spaces and driveways on site shall be such that any vehicle entering or leaving the site may do so in a forward direction.
- (d) Visitor parking spaces must be clearly designated, signposted and readily accessible. They should be easily visible when entering the site.
- (e) Visitor parking spaces located behind any security grilles or controlled access doors must make provision for an intercom to allow access.
- (f) For geometric standards relating to carparking spaces, driveways, crossings, etc, see Council's "Guidelines to Off-Street Parking Requirements".
- (g) Long straight driveways are to be avoided and the use of decorative paving, eg, brick, is encouraged.
- (h) Landscaping (minimum 500 millimetres wide) is to be provided between the driveway and side boundary.
- (i) In order to reduce the volume of rainwater run-off and increase the area of landscaping, the area paved for vehicular access should be minimised.
- (j) Car washing bays are required for developments containing 10 or more dwellings.

## **11. NOISE**

### **11.1 Objective:**

- (a) To contain noise within dwelling units or open space areas without unreasonable transmission to adjoining development.
- (b) To design dwellings so that noise from outside sources when measured within habitable rooms and in private courtyards, is kept to acceptable levels.

### **11.2 Standards:**

- i. Courtyards and vehicular driveways should be designed to minimise reflected noise.
- ii. Operating plant or equipment should be located so as it does not disturb neighbours.
- iii. The building is to be designed and constructed in accordance with the provisions of the Building Code of Australia - Noise Transmission.
- iv. Dwellings should be designed to create internal barriers between “quiet areas” and potential noise sources.
- v. In areas of high traffic noise (ie vehicular and train noise) Council may require a report prepared by a recognised acoustics consultant outlining the sound insulation measures incorporated into the proposal to minimise the noise impact.

## **12. DRAINAGE**

### **12.1 Objective:**

- i. To ensure satisfactory site drainage and protection for adjoining properties from run-off.

### **12.2 Standards:**

- (a) Drainage of all roof and surface waters is to be carried out to all requirements of Council and where stormwater drainage systems are to be connected to Council's street gutters, Council may require that the work be carried out to a specification designed by Council's Director of City Works. The cost of such a stormwater connection is to be borne by the developer over and above any fees charged for a Construction Certificate application.
- (b) The developer may be required to provide on-site detention of stormwater for the total area of the site. The design of this facility will be in compliance with Council's requirements. Further information is available from Council's Environmental Services Division.
- (c) The developer will be required to submit full details of stormwater system design for the site, carried out by a practising Civil Engineer, at the Construction Certificate stage. The building plans will not be released until the drainage plans have been approved. Details as to Council's requirements with respect to stormwater drainage can be obtained from Council's Customer Service Centre.
- (d) The developer should give consideration to the effects of major overland stormwater flows on the proposed development and on adjacent existing developments.
- (e) The developer may also be required by Council to create any drainage easement. The full cost of providing such an easement shall be borne by the developer.

## **13. ROAD AND FRONTAGE WORKS**

### **13.1 Objective:**

- i. To ensure a satisfactory standard of road and footpath construction.

### **13.2 Standards:**

- (a) The developer shall contribute towards the cost of constructing or repairing the road shoulder, kerb and gutter or footpath paving adjacent to the development site, where required by Council.
- (b) A heavy duty vehicular crossing will be required at each vehicular entrance or exit to the development. This is to be constructed at the developer's cost. The minimum width for such a crossing is 4.0 metres.
- (c) The maximum slope of internal driveways shall be in accordance with AS 2890.1 1988 and to the satisfaction of Council's Director of City Works.
- (d) The developer should be aware that the boundary level may need to be fixed by Council. Boundary levels can be obtained, by the pre-payment of a fee, from Council's Division of City Works.
- (e) Any redundant vehicular crossings adjacent to the development will be removed and the footpath and kerb and gutter made good at the developer's cost.
- (f) Any works that are to be carried out by Council at the developer's cost (referred to as prepaid works) need to be applied for in advance. This is to enable sufficient lead time for the works to be organised.
- (g) The developer should be aware that the alteration or removal of any affected Public Utility Services in connection with the development (including frontage works) are the responsibility of the developer. Such alterations, were required, are to be arranged and paid for by the developer.

## **14. FACILITIES**

### **14.1 Objectives**

- i. To provide facilities for residents;
- ii. To minimise the visual impact of facilities;
- iii. To allow for the efficient operation of these facilities; and
- iv. To provide adequate space for storage.

### **14.2 Clothes Drying**

#### **14.2.1 Standards:**

- (a) Adequate clothes drying facilities in the form of mechanical dryers and/or external clothes lines are to be provided for each dwelling.
- (b) Where external clothes lines are provided, they are to be located in the private courtyards and screened from public view and should be of the “fold away” or “roll away” type.

### **14.3 Garbage/Waste Storage**

#### **14.3.1 Standards:**

- (a) Garbage containers will be provided by Council to each dwelling at a cost to the developer.
- (b) The containers are to be kept out of view from the internal driveway or any public place preferably in private courtyards. This may require access through the garage.
- (c) Developments on battle-axe allotments shall store the containers within a suitably constructed and screened open area or room, for garbage collection by Council. Location of such an area/room shall be in accordance with Council’s requirements (details available from Council’s Environmental Services Division).

### **14.4 Utility Services**

#### **14.4.1 Standards:**

- (a) All public utility services within the development site shall be provided underground; and
- (b) Where a substation is required to be located within the development site, it is to be suitably screened from public view.

## **14.5 Letter Boxes**

### **14.5.1 Standard:**

- (a) Letter boxes shall be provided in accordance with the requirements of Australia Post as set out in the brochure titled "Requirements for the Positioning and Dimensions of Mail Boxes in New Commercial and Residential Developments". A copy of the brochure may be obtained from Australia Post.

## **14.6 Domestic Storage**

### **14.6.1 Standard:**

- (a) Storage space of at least 5 m<sup>2</sup> for each dwelling is to be provided attached to the parking area or in the basement. Consideration will be given to reducing this requirement if an alternative design can be provided that meets objective iv. of Clause 14.1.

## 15. CONTRIBUTIONS

### 15.1 Objective:

- i. To meet the provision of/increase in demand for public amenities and public services as a result of the development.

### 15.2 Standards:

- (a) The following contributions, levied under Section 94 of the Environmental Planning and Assessment Act, 1979, shall be paid to Council prior to the issue of a Construction Certificate.

This contribution is used only for or towards the cost of acquiring or improving parkland, improving community facilities, improving environmental amenity, and improving traffic facilities within the area.

Contribution Levy	Size of Dwelling		
	Small	Medium	Large
Open Space Acquisition	\$ 2,860.00	\$ 4,111.25	\$ 6,256.25
Recreation Facilities	\$ 782.88	\$ 1,125.39	\$ 1,712.55
Community Facilities and Services	\$1,570.66	\$ 2,257.82	\$ 3,435.81
Environmental Amenity Improvements	\$ 314.86	\$ 452.62	\$ 688.77
Traffic Control and Management	\$ 97.94	\$ 140.78	\$ 214.24
<b>CONTRIBUTION per Dwelling</b>	<b>\$5,626.34</b>	<b>\$8,087.86</b>	<b>\$12,307.62</b>

Please refer to the Canterbury City Section 94 Contributions Plan for complete details.

- (b) A drainage contribution is also levied by Council, details of which should be obtained from Council's City Works Division.
- (c) If a contribution is not paid within 12 months of the date of issue of the consent, the amount will be reassessed in accordance with Council's requirements at the date of payment.

